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7.14 ⁴⁶Mature Neighbourhood Overlay District

1. General Purpose

The general purpose of this District is to ensure Redevelopment that occurs in mature neighbourhoods is compatible with the existing Development within the Immediate Street Context.

2. Definitions

In this District:

“Redevelopment” means the construction of a new Principal Building, Accessory Building(s) with a Floor Area of 22.0 m² or more, and/or structural additions to the front or side of a Principal Building on Sites that have existing uses and/or Buildings and includes the construction of a new Principal Building and/or Accessory building(s) on Sites that are vacant or underutilized.

3. Application

- (a) ⁴⁷The regulations in this District apply to all Redevelopment applications located in the Mature Neighbourhood Overlay District (shown on the Land Use Constraints Maps M15, N15, M16, N16, N17, N18, O18).
- (b) Character Statements are incorporated into a form part of this bylaw for the purpose of this District, and the design elements within the applicable Character Statement shall apply to all Redevelopment or subdivision within this District.
- (c) Where the regulations in the underlying District contradict or will not serve to achieve the design elements contained in the applicable Character Statement, the Character Statement design elements shall prevail.

4. Discretionary Use

All applications for the Redevelopment of a listed use within the underlying District shall be considered a Discretionary Use.

⁴⁶ 3357/A-2016

⁴⁷ 3357/E-2018

5. Regulations for All Redevelopment

The Development Authority shall have the authority to impose conditions that require the Redevelopment to conform to a higher standard than required by the applicable regulations, including the design elements contained within a Character Statement, for any Redevelopment.

⁴⁸**APPENDIX A: Woodlea Character Statements**

The following Character Statements form part of The City of Red Deer Land Use Bylaw 3357/2006 Appendix A under Land Use Bylaw amendment 3357/E-2018. (Adopted March 19, 2018)

⁴⁸ 3357/E-2018

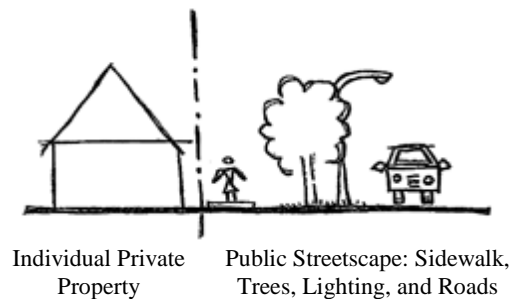
Woodlea Character Statements

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1. Introduction

All neighbourhoods contain the same basic elements; individual properties, and public infrastructure such as streets, sidewalks, lighting, and utilities. What establishes the character of a neighbourhood is the relationship and design of these basic elements. When Redevelopment of private property or public infrastructure occurs, concerns over losing the “character” of a neighbourhood are often raised. The following Character Statements define the “character” of a specific geographic area by capturing the design elements that make one geographic area different from another.



Character Statements are not necessary for every neighbourhood in The City of Red Deer. They are useful for specific geographic areas that contain a combination of elements that together make an area unique or special. The ‘Character’ of the neighbourhood is specifically identified and design standards are created to assist in redeveloping an area intentionally.

Each Character Statement Area contains the following information which serves to define the overall characteristics:

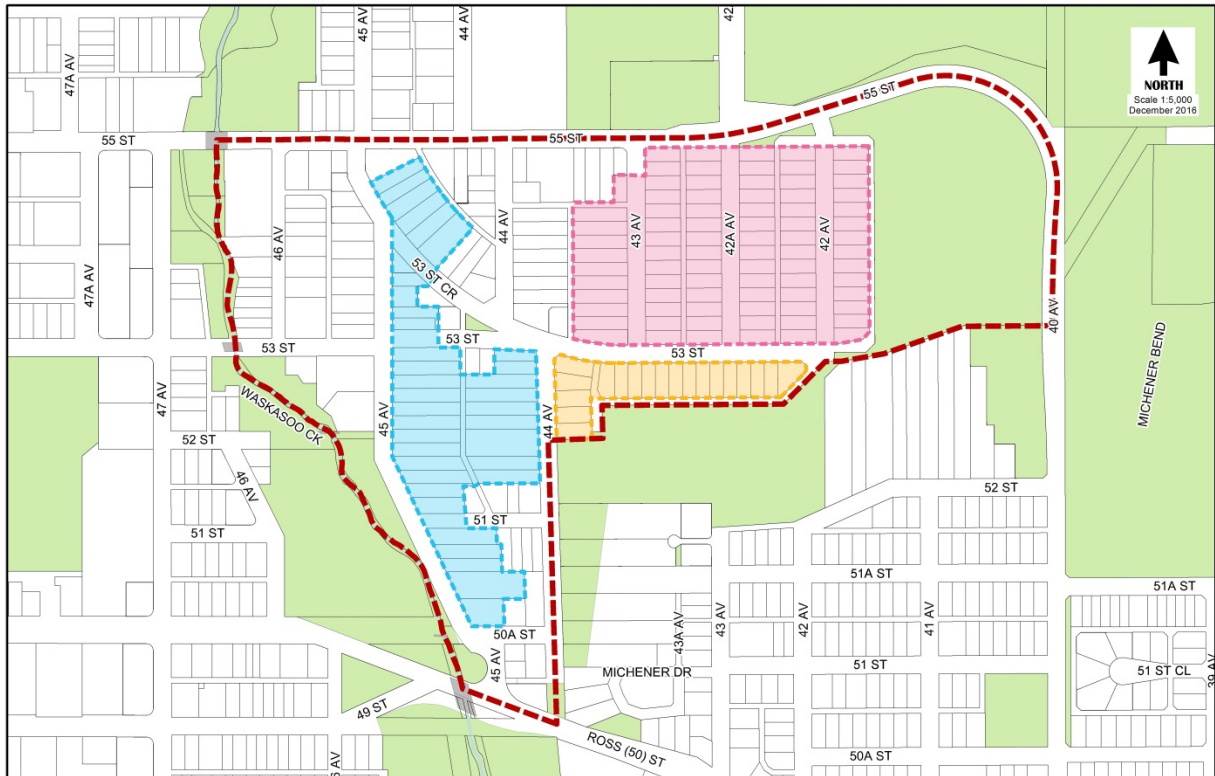
- Character Statement Area Map;
- Context and History;
- Common Forms and Scale of Buildings;
- Common Building Materials;
- Other Common Elements; and
- Design Standards.

1.1 Woodlea Character Statements

The intent of the Character Statements is to define some design parameters to which a new proposal for Redevelopment within a defined area should adhere.

The Character Statements specific to the Woodlea neighbourhood were developed with assistance from community members and the Woodlea Community Association. Their assistance made it possible to create these Character Statements and their sincere efforts are greatly appreciated.

The Woodlea neighbourhood is divided into three distinct Character Areas, highlighted in the map below. Character Statements have been created for each of the three Character Areas. In addition to the three Character Areas, separate Character Statements have been created for the entire Woodlea area.



WOODLEA PLAN AREA CHARACTER AREA MAP

	Plan Area Boundary
	Central Woodlea Character Area
	Chinese Market Garden Character Area
	Nazarene Camp Character Area

All of the photographic images used in the following Character Statements, unless otherwise noted, were taken by The City of Red Deer Planning Department in 2016. Assistance from the community, by the Woodlea Community Association, and their individual members are greatly appreciated and recognized.

1.2 How Character Statements are Applied

When an application for a development permit to redevelop a lot, or a subdivision application is received, the appropriate approving authority will evaluate the application based on conformity with:

- The City of Red Deer statutory plans (including but not limited to the *Municipal Development Plan, Area Structure Plans, Area Redevelopment Plan*);
- The *Land Use Bylaw*;
- Consultation with internal City departments and landowners within 100 m of the subject lot in accordance with section 2.7(d) of the *Land Use Bylaw*;
- The *Neighbourhood Planning and Design Standards* planning document;
- The applicable Character Statements;
- *Engineering Services Design Guidelines*; and
- The contents of the Letter of Intention submitted by the Applicant with development permit applications for Redevelopment within a Character Statement area.

Character Statements are a planning tool that will be applied in conjunction with *The City of Red Deer's Land Use Bylaw* and the generally applicable *Neighbourhood Planning and Design Standards* to evaluate if an application maintains the character of the area. Where the regulations in the *Land Use Bylaw* or the *Neighbourhood Planning and Design Standards* conflict with the Character Statements, the Character Statements shall prevail.

The Context and History, Common Forms and Scale of Buildings, Common Building Materials and Other Common Elements sections within each Character Statement identify various aspects that add to the distinct character and should be considered when evaluating whether a proposed development complements or maintains the character of the area.

A Letter of Intention shall be submitted by the Applicant with development permit applications for Redevelopment within a Character Statement area addressing how the proposal is sensitive to the Immediate Street Context as identified in the relevant Character Statements.

1.3 Historical Properties

As of June 2017 there are four properties in the Woodlea area listed as having historical significance. Each is listed below.

- McKenzie/Ellis Residence HS-33 (5345 46 Avenue)
- Frank Pettepher Residence HS-45 (5045 45 Avenue)
- Walter Trump Residence HS-60 (5035 45 Avenue)
- Chestnut Tree HS-73 (4501 55 Street)



McKenzie/Ellis Residence HS-33

The City has surveyed several additional historic properties over the years. Additional information can be found within the City's *Historic Site Survey Project (2008)*, the *Historic Site Inventory Project (2009)*, the *Heritage Site Survey (2015)*, and the *Places of Interest List* (currently being compiled). The information gathered in these documents can assist landowners to explore a designation on a voluntary basis.

Applications for properties that are identified as HS (Historical Significance) in the *Land Use Bylaw* are to be reviewed applying the *Standards and Guidelines for the Conservation of Historical Places in Canada* as well as *Creating a Future for Alberta's Historic Places*. The Federal and Provincial requirements take precedence over Character Statements.

1.4 Interpretation

Wording contained in the following Character Statements are intentional and contain “shall”, “should” and “may” statements. Character Statements that contain “shall” are those which must be followed. “Should” statements mean compliance is recommended and generally expected but acknowledge that the Development Authority may vary these statements based on the extraordinary circumstances of the specific case. “May” statements indicate that the Development Authority determines the level of compliance that is required. Terms identified by a capitalized first letter are found in the Definitions section of this document or in the *Land Use Bylaw*.

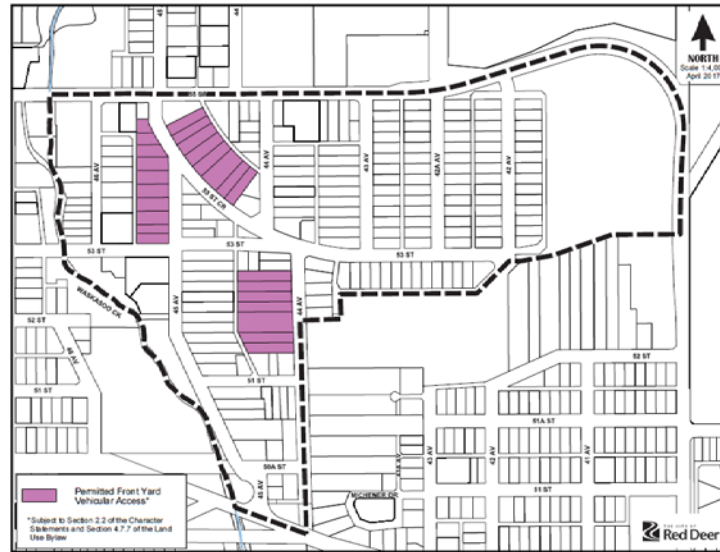
2. Design Standards applicable to the entire Woodlea neighbourhood

The following Character Statements will be applicable to the entire Woodlea Plan Area outlined on the Woodlea Plan Area Character Area Map.

2.1 Vehicular Access

1. Where a property does not have Rear Yard or Side Yard vehicular access, Front Yard vehicular access is allowed.
2. Notwithstanding Sections 4.6.9 and 5.6.9 of the Woodlea Character Statements, Front Yard vehicular access is discouraged in areas with Rear Yard or Side Yard access.
3. Notwithstanding Section 2.2 of these Character Statements and Section 4.7.7 Vehicular Access to Lots from Public Roadways of the *Land Use Bylaw*, Front Yard vehicular access is allowed where it is a dominant feature of the existing streetscape. Existing Front Yard vehicular access in areas where it is not a dominant feature of the existing streetscape may remain until the property is Redeveloped. Redevelopment of properties may require existing Front Yard vehicular access in areas where it is not a dominant feature to be removed. As shown in the map below, Front Yard vehicular access is considered a dominant feature of the streetscape in the following areas:
 - Properties on the west side of 45 Avenue between 5302 45 Avenue and 5344 45 Avenue;
 - 5335 45 Avenue, 5337 45 Avenue, 5339 45 Avenue, and properties along the north side of 53 Street Crescent between 4408 53 Street Crescent and 4434 53 Street Crescent
 - Properties on the west side of 44 Avenue between 5110 44 Avenue and 5138 44 Avenue.

Map 2.1.3(a) Front Yard Vehicular Access in Dominant Areas of Streetscape



4. Where Rear Yard or Side Yard vehicular access exist and Front Yard vehicular access is not a dominant feature of the streetscape, consideration for Front Yard vehicular access may only be granted in unique circumstances on the property such as retaining mature trees in the Rear Yard or Side Yard or an irregular parcel shape which limits development design options. In these circumstances the applicant is required to provide their reasons in writing for consideration by the Development Authority.
5. Front parking pads shall not be considered where there is vehicular access available from the Rear Yard or Side Yard, unless currently existing.

2.2 Boulevard Trees

1. Boulevard trees shall not be removed or harmed to accommodate development on private property. Protection of existing boulevard trees shall conform to the City's Contract Specifications.
2. Existing tree-lined boulevards within the plan area shall remain indefinitely; however, trees may be replaced over time with different species and caliper as determined by the City's Recreation, Parks, and Culture department.

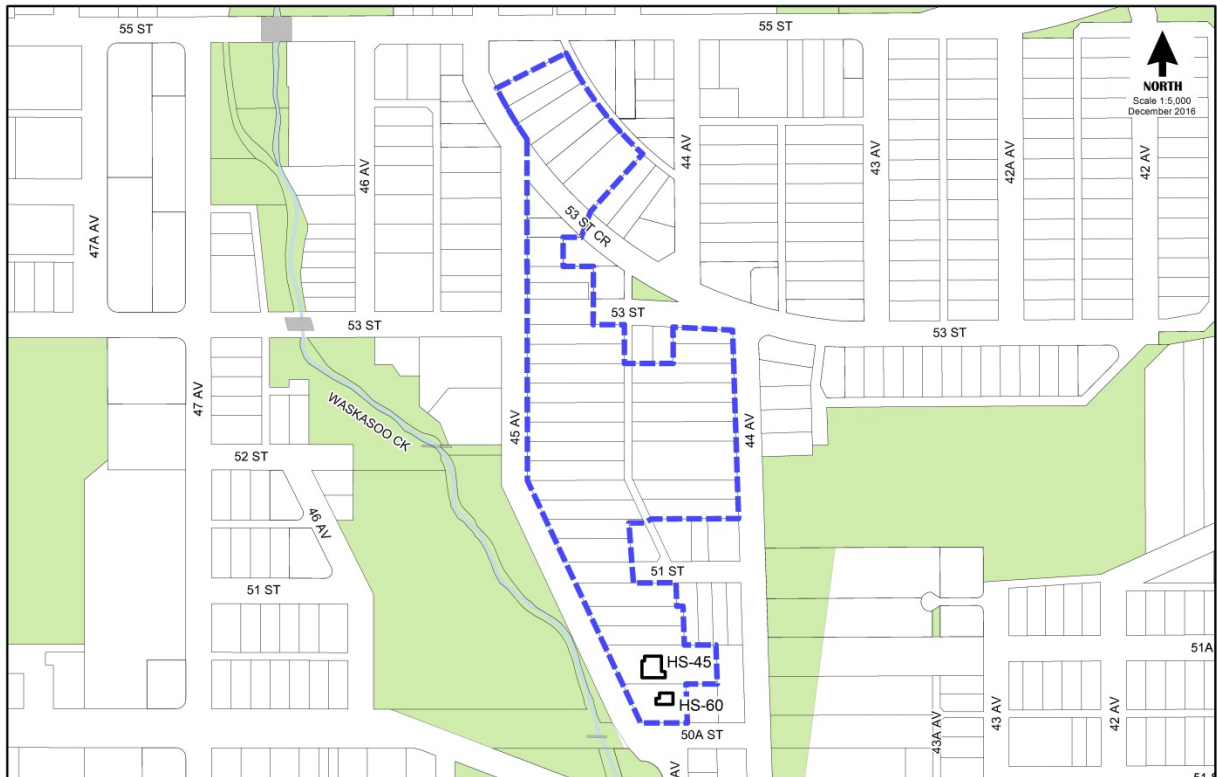
2.3 Building and Site Design

1. For corner lots where the primary entrance of the Dwelling Unit is not at the front of the property, the design of the Dwelling Unit should create a strong sense of entry from the Front Façade (such as thoughtful design of pathways, Landscaping, or porch features). All other properties shall have the primary entrance of the Dwelling Unit at the front of the property.
2. Side windows and balconies on Dwelling Units are to respect the privacy of neighbouring properties. They should be located to minimize direct views into existing neighbouring windows and views overlooking neighbouring yards. A sketch showing the window locations of existing adjacent Buildings shall be accompanied with any development application for a new Dwelling Unit or major structural addition to the front or side of the existing Dwelling Unit that is wholly or partially visible from the street. Additional design elements to respect privacy

- of neighbouring properties may be required by the Development Authority.
3. Excessive loss of sunlight on adjacent properties due to Redevelopment may be considered by the Development Authority.
 4. If a new Dwelling Unit or major structural addition to the front or side of the existing Dwelling Unit that is wholly or partially visible from the street is larger in Scale than the existing adjacent Dwelling Units, a transition in building widths should be created by visually dividing the building into smaller sections that approximate the width of adjacent Dwelling Units, and by scaling down the height as it approaches the adjacent Dwelling Units.
 5. For the purpose of assessing the Scale of a Dwelling Unit or major structural addition to the front or side of the existing Dwelling Unit that is wholly or partially visible from the street, photos of the adjacent properties on each side yard shall be accompanied with any development application. Supplementary information may be required by the Development Authority to further assess the impact of the proposed Dwelling Unit Scale on adjacent properties.
 6. Lots shall be compatible in the width, depth and area with properties existing within the Immediate Street Context as the proposed Redevelopment.
 7. Where front Attached Garages are allowed, the dominance of the garage shall be reduced by having the façade of the garage flush with the Front Façade of the Dwelling Unit or recessed behind the Front Façade of the Dwelling Unit. In addition, in areas where there is Rear Yard or Side Yard vehicular access, the Front Façade of a front Attached Garage shall only be developed to less than or equal to 50% of the Front Façade of the Dwelling Unit.
 8. The height and total floor area of all Accessory Buildings shall not exceed the footprint area or height of the principal Building.

3. Central Woodlea Character Statement

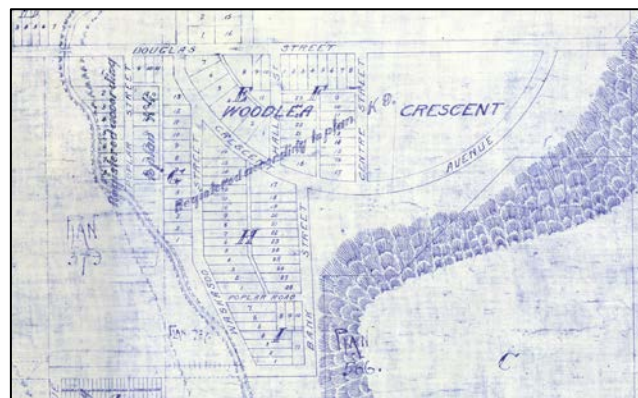
3.1 Character Statement Area Map



WOODLEA PLAN AREA CENTRAL WOODLEA PLAN AREA

3.2 Context and History

The Central Woodlea character area contains the earliest subdivisions and some of the most historic residences in Red Deer along 45 Avenue. In 1905 the land along 45 Avenue was subdivided by one of Red Deer’s first settlers, Leonard Gaetz and his son Halley. The layout of parcels were atypical to what was already existing in Red Deer; the parcels were much larger and longer in size, and varied from the standard



Red Deer & District Archives: K32 cropped

rectangular pattern (53 Street Crescent) emphasizing the Garden City and the City Beautiful movements. As a result, the subdivision proved to be well accepted with parcels selling promptly.¹

This Character Area includes two historically significant properties within Woodlea (see map 2.1 Character Statement Area Map) as well as several other unique character homes. Design of homes had both Queen Anne and Craftsman influences and were associated with early residential development in Red Deer. The first homes consisted of: wood construction, Gable roofs, brick chimneys, front porches, and patterned wood windows.



Walter Trump Residence (5035 45 Avenue)
HS-60 – Craftsman influences

After the economic crash of 1913 and into the Second World War very few homes were built. During the Second World War Red Deer saw a large increase in city residents; by 1943 Red Deer's population had doubled prior to that of pre-war times creating a huge housing shortage.² Attempts to manage the housing shortage involved renovations and creating multiple suites in existing homes and buildings, etc. Of the homes built during the Second World War, most consisted of 1 – 1 ½ storey bungalows with varied design influences. At the end of the Second World War Red Deer, along with much of Alberta, was in an economic boom influenced by the oil industry. During that time several simple, modest-sized homes were constructed of Minimal Traditional style.

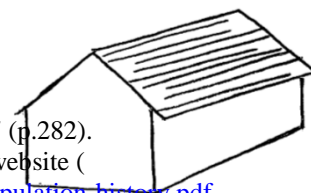
Since the 1970's the area has seen several properties redeveloped – properties either having significant renovations or older buildings being torn down and replaced with newer larger homes. Design and style of Redevelopment has varied influences including Ranch, Modern, and Craftsman.

3.3 Common Forms and Scale of Buildings

- Single detached dwellings constructed prior to the First World War ranging in size from 1 ½ storey dwellings to 2 storey dwellings influenced by Queen Anne and Craftsman architectural styles.
- Second World War homes ranging from 1 – 1 ½ storey Bungalows influenced by Tudor Revival, Ranch and Minimal Traditional styles.
- 1 and 1 ½ storey post-war dwellings built in the 1940's and 1950's, in the Minimal Traditional style.
- Gable roofs, often with Dormer windows, creating living space within the roof and some type of porch entry feature are common.
- Detailing from other architectural styles and eras, such as



Single Detached Dwelling



Gable Roof

¹ *Homesteads That Nurtured a City* by E.L. Meeres, Fletcher Printing, Red Deer, 1977 (p.282).

² Population – City of Red Deer population history statistics on the City of Red Deer website (<http://www.reddeer.ca/media/reddeerca/about-red-deer/statistics-and-demographics/population-history.pdf>)

Victorian Architecture, is often found as scaled down elements.

- Consistent relationship between sidewalk location, finished floor elevations, Building Front Yard Setbacks, street tree locations, and road widths.
- Larger lots with generous Front and Side Yard Setbacks that are well treed and Landscaped adding to the aesthetic appeal of the streetscape.
- Scale is related to architectural style and is reflected in the Building design. For instance, 1 to 1 ½ storey dwellings have a Minimal Traditional architectural style and a small square footage.
- Front yard Setbacks along 45 Avenue facing Coronation Park follow the angle of the street offering privacy to adjoining neighbours.
- Front yard Setbacks along 53 Street Crescent follow the curvature of the street.



5045 45 Avenue (Frank Pettepher Residence HS-45) – Craftsman Style



5109 45 Avenue – Queen Anne influences



4434 53 Street Crescent – Bungalow with Queen Anne influences

3.4 Common Building Materials

- Wood cladding (wood shingle cladding and clapboard siding) or wood-replica siding;
- Vinyl or aluminum siding;
- Stone, river rock, sandstone detailing;
- Stucco;
- Asphalt shingles; and
- Cement, or cement block foundations.



Minimal Traditional Style – renovated with vinyl siding

3.5 Other Common Elements

- Mature tree lined streets with wide boulevard and separated sidewalks along 45 Avenue and 53 Street Crescent.
- Large well Landscaped, maintained yards complete with mature vegetation.

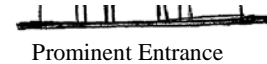
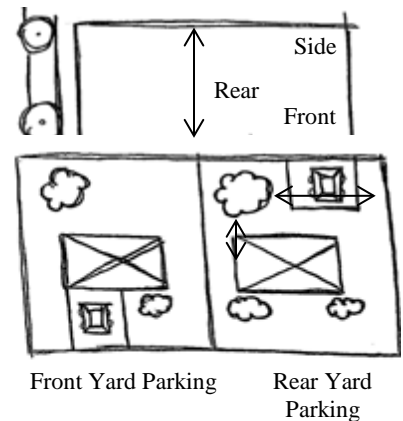


Separated sidewalks with tree lined streets

- Minimal front garages and driveways along 45 Avenue where the parcels can be accessed by a rear lane. Several properties along 44 Avenue and 53 Street Crescent are accessed from the front despite the rear lane access.
- Very walkable streets. The streets becoming informal meeting places.

3.6 Design Standards

1. Existing trees, natural features, Boundary Hedges, fences, gates and Landscaped boulevards shall be identified on a site plan for Redevelopment. The plan shall identify what is to be removed/relocated/preserved on site as well as any proposed tree replacements required as a result of tree removal.
2. Dwelling Units shall be sited on the lot to be compatible with the existing pattern of dwelling placement in terms of Front Yard, Side Yard, and Flankage Setbacks, prevalent in the Immediate Street Context.
3. Side Yard and Rear Yard Setbacks for Accessory Buildings shall be in accordance with the requirements of the underlying land use district.
4. Slight variances to the Front Yard Setback may be allowed to maintain existing natural features/trees to better align with the Immediate Street Context.
5. Dwelling Units shall have a primary Prominent Entrance facing the front of the property and are encouraged to incorporate a permitted projection (such as a porch).
6. Front projections shall require the same Front Yard Setbacks as the Dwelling Unit.
7. Upper storey living spaces, wholly or partially, may be incorporated within the roof structure for increased floor area. Dormer/end Gable windows are encouraged to provide adequate light to these spaces.
8. Additions to the Front Façade shall not be allowed unless the proposed Front Yard Setback, Building design, siting, and materials utilized are compatible with the Immediate Street Context.
9. Dwelling Units shall incorporate a range of architectural features and design details along the front façade of the Dwelling Unit. Exterior Building Materials and colors should be reflective of, similar to and compatible with those present within the Immediate Street Context.



2010 Craftsman Style Redevelopment



1974 Ranch Style Redevelopment

4. Chinese Market Garden Character Statement

4.1 Character Statement Area Map



WOODLEA PLAN AREA CHINESE MARKET GARDEN CHARACTER AREA

4.2 Context and History

Prior to the development seen today, lands east of 43 Avenue were used as a large commercial garden. In 1924 the area was acquired by Chinese partners, who then transferred the land to new landowners who operated the Sam Wo Market Gardens. The gardens continued in this location until 1948 when it was relocated to the Mountview neighbourhood.¹

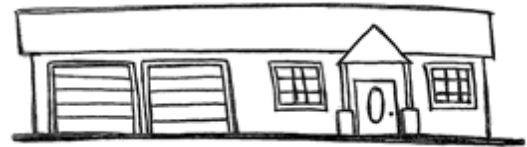
In 1949, the land west of 42A Avenue was subdivided into residential parcels; in 1951 lands on the east and west side of 42 Avenue were subdivided thereby completing the design of the Character Area as it now remains. The majority of



Red Deer & District Archives: N7 crop, c. 1943 shows the Chinese Market Garden on the right.

¹ *Mingling Memories*, Red Deer East Historical Society, Red Deer, 1979 (p 718 -719) and RG 2 City Commissioner fonds (Accession 2016-759, Box 1, File 2: 1917-1929)(p. 178-179).

homes in this area were constructed between 1950 and 1955. Homes developed at this time were simple and modest in design. Typical homes consisted of 1 storey bungalows with a Hipped Roof or a Ranch architectural influence.



Ranch Style

Redevelopment in the area has been steady. As demand to be closer to the city centre grows it is expected that further Redevelopment will continue.

4.3 Common Forms and Scale of Buildings

- 1 storey Bungalows and Ranch style dwellings with flat and simple Front Facades, with a front entry flush or slightly recessed to the remainder of the dwelling. Landings or front porches are typical on all dwellings.
- The overall shape is very square or rectangular and compact, with few ornamental features.
- Consistent large Front Yard Setbacks typically ranging from 8.4m to 11.2m.
- Large Side Yard Setbacks
- Lot widths are consistently between 15.24 m and 15.75 m.
- Additions by way of adding a second floor are common, however additions have also been constructed to the side and rear of existing dwellings.
- Only replacement and renovated dwellings exceed 1 ½ storeys in height.
- Front walkways leading from the public sidewalk to the Prominent Entrance of the dwelling.

4.4 Common Building Materials

- Wood;
- Vinyl or aluminum siding;
- Stucco;
- Concrete or stone faced foundation; and
- Brick or stone detailing.



Tree lined street with separated sidewalks

4.5 Other Common Elements

- Well connected sidewalks and pathways with streets laid out in a grid pattern.
- Mature tree lined streets with separated sidewalks.
- No vehicular access from the street. Detached Garages are accessed from the rear lane, are out of sight, and don't affect the Character when viewed from the street.

4.6 Design Standards

1. Roof styles and slopes should align with the



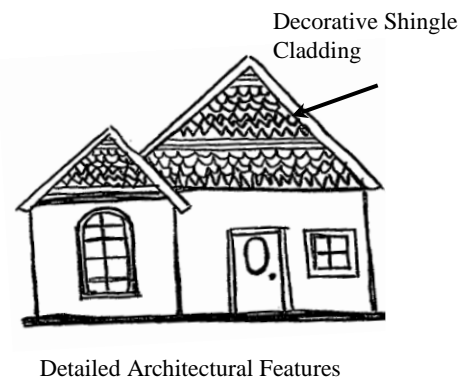
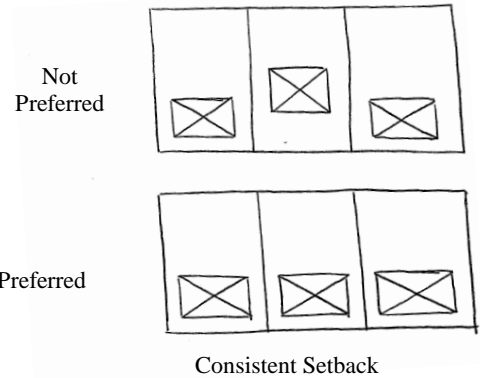
Preferred Roof Design



Not Preferred Roof Design

Immediate Street Context. If there is inconsistency resulting from height differences, the proposed Building elevations should include architectural detailing, building articulation and stepping back of the upper floor to break up the larger building form and reduce the impact to adjacent properties.

2. Dormers or similar design elements may be encouraged provide some additional living space in the roof.
3. Building additions, greater than 30% of the total square footage of the existing Building, shall be developed by the addition of a second storey, or in the Rear Yard. Only additions of less than 30%, will be considered in the Front or Side Yard.
4. Additions proposed to the Front Façade shall not be allowed unless there is no impact to the typical Front Yard Setback within the Immediate Street Context. Front additions shall be sensitive and compatible in Building design and Building Materials utilized with the Immediate Street Context.
5. Dwelling Units shall be sited on the lot to be compatible with the existing pattern of dwelling placement in terms of Front Yard, Side Yard, and Flankage Setbacks prevalent in the Immediate Street Context.
6. Side Yard and Rear Yard Setbacks for Accessory Buildings shall be in accordance with the requirements of the underlying land use district.
7. Dwelling Units are encouraged to incorporate a permitted projection (such as a porch). Front projections shall require the same Front Yard Setbacks as the Dwelling Unit.
8. Dwelling Units shall incorporate a range of architectural features and design details along the Front Façade of the Dwelling Unit. Exterior Building Materials and colors should be reflective of, similar to and compatible with those present within the Immediate Street Context.
9. Front Yard vehicular access shall not be considered on parcels where there is vehicular access available from a Rear Yard or Side Yard. This includes the following Front Yard examples:
 - driveways;
 - front Attached Garages; and
 - parking pads.





Typical Bungalow with Gable Roof



Typical Bungalow with Hipped Roof



Bungalow with porch addition

5. Nazarene Camp Character Statement

5.1 Character Statement Area Map



WOODLEA PLAN AREA NAZARENE CAMP CHARACTER AREA

5.2 Context and History

In 1912 the first church in Woodlea, the Pentecostal Church of the Nazarene, was built along Ross Street at the foot of Michener Hill. During the First World War the church started using the neighbouring open areas for large evangelical revival camp meetings. In 1920 the church moved to a more central location in downtown Red Deer but continued to use the land in Woodlea for revival camp meetings. In 1923 and 1925 the Church of the Nazarene expanded their Woodlea property to include a church camp for revival meetings and summer holidays, and a large wooden summer tabernacle.



Red Deer & District Archives: P4431
cropped, 1948
Nazarene Camp (circled)

During this time the Nazarene Camp became one of the largest summer evangelical revival centres in Alberta. In the early 1950's the property was sold to support other Nazarene projects in Red Deer and subdivided into the residential lots existing today.¹

In 1955 the subdivision of land was registered with Land Titles with the area fully developed by 1957. Today the area is developed with original one storey Bungalows with Hipped Roofs and Ranch style dwellings.

5.3 Common Forms and Scale of Buildings

- 1 storey Bungalows and Ranch style dwellings with simple Front Facades, with a front entry flush or slightly recessed to the remainder of the dwelling. Landings or front porches are typical on all dwellings.
- The overall shape is very square or rectangular and compact, with few ornamental features.
- Consistent Front Yard Setbacks typically ranging from 4.5m to 6.0m along 53 Street and 8.0m to 9.5m along 44 Avenue. However, the perceived Front Yard is much larger as the road right of way along 53 Street extends south approximately 3.0 m. This 3.0 m is adjacent to the front property lines and is grassed.
- Lot widths are 15.24 m along 53 Street, with the exception of the triangular parcel at 4201 53 Street, and are generally 18.29 m along 44 Avenue with the exception of those parcels near the corner of 53 Street. Side Yard Setbacks in this area are much smaller than the other Character Areas in Woodlea, and typically only meet the 1.5m minimum R1 Residential (Low Density) District standard outlined in the City's Land Use Bylaw.
- Redevelopment within the area is uncommon.
- All dwellings are one storey in height with the exception of one redeveloped dwelling with a second storey addition.
- Front walkways leading from the public sidewalk to the Prominent Entrance of the dwelling.



Consistent Front Yard Setbacks along



Square and compact shape

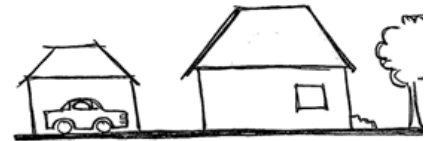
5.4 Common Building Materials

- Wood;
- Vinyl or aluminum siding;
- Stucco;
- Concrete or stone faced foundation; and
- Brick or stone detailing.

¹*Vine of His Planting* by Dorothy J. Thomson (1961) (p 11-12, and 28-29).

5.5 Other Common Elements

- Well connected sidewalks and pathways along the streets.
- Well-kept grassed Front Yards with separated sidewalks.
- With the exception of 5125 44 Avenue there is no vehicular access from the street. Detached Garages are accessed from the rear lane, are out of sight, and do not affect the Character when viewed from the street.



Detached Garage

5.6 Design Standards



Typical Bungalow with Hipped Roof

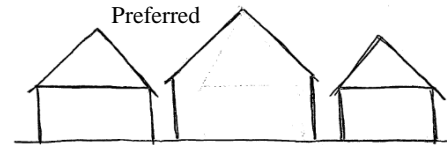


Typical Ranch style dwelling with Gable Roof
Consistent Roof Design

1. Roof styles and slopes should align with the Immediate Street Context. If there is inconsistency resulting from height differences, the proposed Building elevations should include architectural detailing, building articulation and stepping back of the upper floor to break up the larger building form and reduce the impact to adjacent properties.
2. Dormers or similar design elements may be encouraged to provide some additional living space in the roof.
3. Building additions, greater than 30% of the total square footage of the existing Building, shall be developed by the addition of a second storey, or in the Rear Yard. Only additions less than 30% will be considered in the Front or Side Yard.
4. Additions proposed to the Front Façade shall not be allowed unless there is no impact to the typical Front Yard Setback within the Immediate Street Context. Front additions shall be sensitive and compatible in Building design, siting and materials utilized with the Immediate Street Context.
5. Dwelling Units shall be sited on the lot to be compatible with the existing pattern of dwelling placement in terms of Front Yard, Side Yard, and Flankage Setbacks prevalent in the Immediate Street Context.
6. Side Yard and Rear Yard Setbacks for Accessory Buildings shall be in accordance



Preferred



Not Preferred



Redevelopment – second storey addition

- with the requirements of the underlying land use district.
7. Front projections shall require the same Front Yard Setbacks as the Dwelling Unit.
 8. Dwelling Units shall incorporate a range of architectural features and design details along the Front Façade of the Dwelling Unit. Exterior Building Materials and colors should be reflective of, similar to and compatible with those present within the Immediate Street Context.
 9. Front Yard vehicular access shall not be considered on parcels where there is vehicular access available from a Rear Yard or Side Yard. This includes the following Front Yard examples:
 - driveways;
 - front Attached Garages; and
 - parking pads.

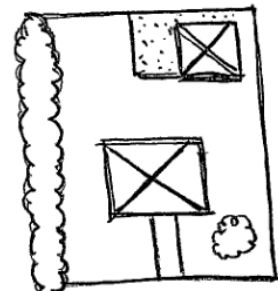
6. Definitions

Attached Garages are enclosed parking areas which are integrated into the main dwelling structure and are typically accessed from a driveway connecting to a municipal street or rear lane.



Attached Garage

Boundary Hedge is vegetation in the form of hedges or shrubs located on or adjacent to the registered property line of a site.



Boundary Hedge

Building Materials are materials used for construction. For the purpose of this document, Building Materials predominantly refer to exterior cladding materials, such as brick, stone, and wood.

Bungalow means a single storey detached Dwelling Unit which may include a second storey built into a sloping roof.

City Beautiful is an urban planning movement from the 1890's and 1900's which emphasized grandeur, order, symmetry, and harmony in the built environment. It was believed that these qualities would consequently be inspired in the landowners.

Common Building Materials is a similarity in the substance, or a mixture of substances that constitute a building.

Common Form is a similarity in the shape, outline or configuration of a structure as apart from colour, materials, etc.

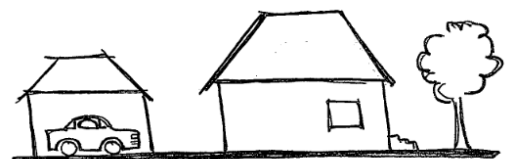
Common Scale is a similarity in size based on an informal system of general size categorizations useful for comparison purposes.

Craftsman Style is based on a reform philosophy, encouraging originality, simplicity of form, local natural materials, and the visibility of handicraft, but distinguished itself, particularly in the Craftsman Bungalow style, with a goal of ennobling modest homes for a rapidly expanding American middle class. Common architectural elements include:

- Low-pitched roof lines, Gabled or Hipped Roof
- Deeply overhanging Eaves,
- Exposed rafters or decorative brackets under Eaves
- Front porch beneath extension of main roof
- Tapered, square columns supporting roof
- 4-over-1 or 6-over-1 double-hung windows



Craftsman Style



- Frank Lloyd Wright design motifs
- Hand-crafted stone or woodwork
- Mixed materials throughout structure

Detached Garages are free-standing buildings that are not connected to the main dwelling, and are typically accessed from a driveway connecting to a municipal street or rear lane, but which contribute to the overall site function and layout.

Dormer is framing which projects from a sloping roof, providing an internal recess in the roof space.

Dormer Window is a window in a Dormer for lighting a room adjoining a sloping roof.

Eaves are defined as the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a Building. The Eaves form an overhang to throw water clear of the walls and may be highly decorated as part of an architectural style.

Flankage is the Side Yard abutting a street on a corner lot.

Front Façade refers to the front elevation of the dwelling which faces the street and contains the main entrance.

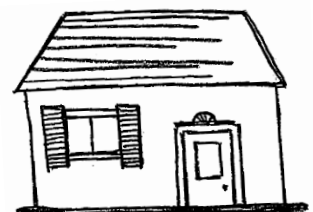
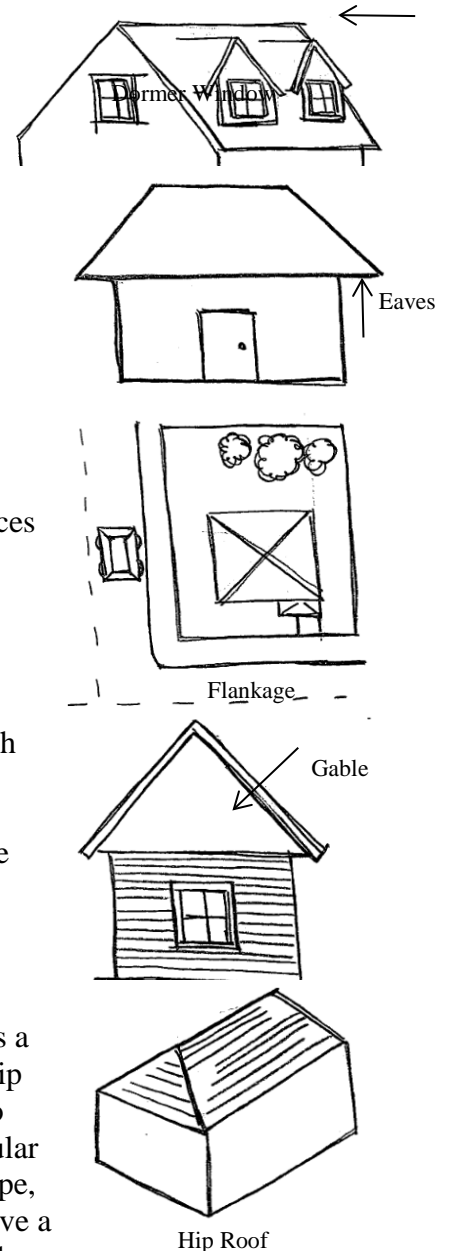
Gable is the upper triangular-shaped portion of the end wall of a Building.

Gable Roof means a roof with two sloping sides and a Gable at each end.

Garden City is an urban planning movement which emphasized the creation/maintenance of parks, green spaces, spacious lawns and gardens.

Hip Roof or **Hipped Roof** is a type of roof where all sides slope downwards to the walls, usually with a fairly gentle slope. Thus it is a house with no Gables or other vertical sides to the roof. A square Hip Roof is shaped like a pyramid. Hip Roofs on houses could have two triangular sides and two trapezoidal ones. A Hip Roof on a rectangular plan has four faces. They are almost always at the same pitch or slope, which makes them symmetrical about the centerlines. Hip Roofs have a consistent level fascia, meaning that a gutter can be fitted all around. Hip Roofs often have Dormer slanted sides.

Landscaping refers to any activity that modifies the visible features of an area of land, including simple to complex arrangements of living elements (flora), natural elements (landforms), and human elements (structures).



Minimal Traditional Style is housing of simple design appropriate for a country recovering from a Great Depression and anticipating World War II. Minimal Traditional houses may have these features:

- small with minimal decorations
- low or moderately pitched roof
- minimal Eaves and roof overhang
- side Gable, often with one front-facing cross Gable
- front door entrance under the front cross Gable
- one story, with an attic story
- shutters are common
- exterior siding of wood, brick, or a mix of sidings
- small fireplace and chimney

Minimal Traditional Style

Modern architecture refers to the Building style of the early to mid-20th century. Common themes of Modern architecture include:

- emphasis on function, meaning that the result of design should derive directly from its purpose
- simplicity and clarity of forms and elimination of "unnecessary detail"
- materials at 90 degrees to each other
- visual expression of structure (as opposed to the hiding of structural elements)
- the related concept of "Truth to materials", meaning that the true nature or natural appearance of a material ought to be seen rather than concealed or altered to represent something else
- use of industrially-produced materials; adoption of the machine aesthetic
- particularly in International Style modernism, a visual emphasis on horizontal and vertical lines

Prominent Entrance is a Building entrance that is conspicuous in its position or importance and is supported by architectural detailing, a walkway to the street and appropriate landscape treatment.

Queen Anne Style is a style that came into vogue in the 1880's and was used until the 1920's. Distinctive features of the American Queen Anne style (rooted in the English style) may include:

- an asymmetrical facade;
- dominant front-facing Gable, often cantilevered out beyond the plane of the wall below;
- overhanging Eaves;
- round, square, or polygonal tower(s);
- shaped Gables;
- a porch covering part or all of the front façade, including the primary entrance area;
- a second-story porch or balconies;
- pedimented porches;
- differing wall textures, such as patterned wood shingles shaped into varying designs, including resembling fish scales, terra cotta tiles, relief panels, or wooden

- shingles over brickwork, etc.;
- dentils;
- classical columns;
- Spindle work;
- oriel and bay windows;
- horizontal bands of leaded windows;
- monumental chimneys;
- painted balustrades;
- wooden or slate steep roofs
- Front gardens often had wooden fences

Ranch Style is a domestic architectural style originating in the United States. The Ranch house is noted for its long, close-to-the-ground profile, and minimal use of exterior and interior decoration. The houses fuse modernist ideas and styles with notions of the American Western period working ranches to create a very informal and casual living style. Ranch style houses have many of these features:



Ranch Style

- Single story
- Low pitched Gable roof
- Deep-set Eaves
- Horizontal, rambling layout: Long, narrow, and low to the ground
- Rectangular, L-shaped, or U-shaped design
- Large windows: double-hung, sliding, and picture
- Sliding glass doors leading out to patio
- Attached Garage
- Simple floor plans
- Emphasis on openness (few interior walls) and efficient use of space
- Built from natural materials: Oak floors, wood or brick exterior
- Lack decorative detailing, aside from decorative shutters

Scale is defined as the size of a Building and its component parts in comparison with the size of neighbouring dwellings.

Setback is defined as the distance of a structure from a property line.

Tudor Revival means a medieval architectural style adapted from Great Britain to the United States during the last quarter of the 19th century where it was incorporated into homes across America. The essential characteristics of a Tudor Revival house usually include the use of half-timbering, oversized fireplaces, and the use of brick and stucco siding. Roofs are steeply pitched, and Dormers and overhangs are common.

Victorian Architecture refers to styles that emerged in the period between 1830 and 1910, during the reign of Queen Victoria. They were often influenced and revived from historic styles mixed with the introduction of Middle East and Asian influences.

7.15 ¹Major Entry Areas Overlay District

1. General Purpose

The purpose of this District is to ensure that development along major commercial corridors leading into the City is visually attractive, creates a welcoming environment and does not prejudice pedestrian and traffic safety or the function of adjacent public roadways.

2. Definitions

- (a) **“Major Entry Areas”** means those areas adjacent to Major Corridors which are highly visible to motorists and include an area of at least 20m measured from the Site Boundary that is adjacent to the Major Corridor.
- (b) **“Major Corridors”** mean:
 - a. Gaetz (50) Avenue from the southern boundary of the City to 22 Street/Boyce Street;
 - b. Gaetz (50) Avenue from the northern boundary of the City to Kingston Drive / 80 Street;
 - c. Taylor Drive from the southern boundary of the City to 22 Street;
 - d. 67 Street/Highway 11 from the western boundary of the City to Taylor Drive;
 - e. Highway 11A from the western boundary of the City to Taylor Drive; and
 - f. Highway 2 within the City boundary.

3. Permitted and Discretionary Uses

- (a) Those uses listed as Permitted Uses and Discretionary Uses in the existing underlying land use District; and
- (b) Notwithstanding any other provision of this Bylaw, no Billboard Signs and no Dynamic Signs shall be allowed within the Major Entry Areas.

4. Application

- (a) The Major Entry Areas Overlay District is shown on the Land Use Constraints Maps J24, J23, J22, I23, I22, F21, G21, H21, I21, J21, K21, H20, I20, H19, I19, I18, J18, K18, I17, K17, I16, H16, H15, I15, I14, I13, J13, J12, K12, K11, L11, M11, M10, K10, L10, L9 and M9;

¹ 3357/G-2016

- (b) The Major Entry Areas Overlay District applies to all Sites that have one or more Boundaries that are adjacent to a Major Corridor, as identified on Figures 7A to 7I; and
- (c) The regulations of this District are in addition to any other applicable regulations under this Bylaw. Where the regulations in the existing underlying District contradict or will not serve to achieve the general purpose of this District, the Major Entry Area Development Regulations shall prevail, with the exception of any residential property.
- (d) All applications within a Major Entry Area that are adjacent to a provincially owned Major Corridor shall be circulated to Alberta Transportation for their review and comment.

5. Major Entry Areas Regulations for Buildings

- (a) All Buildings on a Site shall be constructed using similar architectural theme and exterior finishes/colours, unless the function of individual Buildings dictates a specific style or image associated with a company. In such instances, the Development must maintain harmony in terms of building lines, mass, as well as quality and colour of exterior treatment, to the satisfaction of the Development Authority;
- (b) All mechanical equipment, including roof mechanical units, shall be concealed by screening in a manner compatible with the architectural character of the Building, or concealed by incorporating it within the Building roof; and
- (c) All Buildings have a Gross Floor Area greater than 2,000.0m² or a single wall length greater than 5.0m visible from a Major Corridor, shall comply with the following design criteria, to the satisfaction of the Development Authority:
 - (i) the roof line and building façade shall include design elements that reduce the perceived mass of the Building and add architectural interest, and
 - (ii) the use of Landscaped Areas adjacent to exterior walls which are visible from a Major Corridor, to minimize the perceived mass of the Building and to create visual interest.

6. Major Entry Areas Regulations for Site Design

- (a) Vehicular entrances and exits, as well as on-Site and off-Site traffic and pedestrian routes, shall be located and designed in a manner that provides

a clearly defined, efficient and convenient on-Site and off-Site vehicular traffic and pedestrian circulation pattern;

- (b) Loading bays shall be located in such a manner as to not impede the efficient flow of traffic and pedestrian movement and to minimize impacts on adjacent land uses;
- (c) Development on adjacent Sites shall be integrated by direct on-Site access connections to provide opportunities for convenient and free flowing traffic movements between Sites where such integration is advantageous, in the opinion of the Development Authority, due to the existing or potential type of adjacent development and where such access is not prohibited due to such factors as Grade elevations, Site configurations and location of existing Buildings; and
- (d) ¹Service Stations, Motor Vehicle Sales, Service and Repairs and Restaurants with a drive-through service shall be developed in accordance with the following additional criteria:
 - (i) The design, finishing, and siting of development, including the orientation of gas pump island, queuing aisles and service bays, shall be to the satisfaction of the Development Authority having regard to achieving a consistent and compatible relationship with the overall design and finishing of the development, ensuring a high standard of appearance when viewed from adjacent public roadways, and minimizing traffic circulation conflicts both off-Site and on-Site; and
 - (ii) Any canopy located over the gas pump islands shall be designed and finished in a manner consistent with the design and finishing of the Principal Building(s), with the overall height and scale of the canopy to be to the satisfaction of the Development Authority, such that the canopy is not obtrusive and maintains consistency with the eave line of the Principal Building(s).

7. Major Entry Areas Regulations for Landscaping

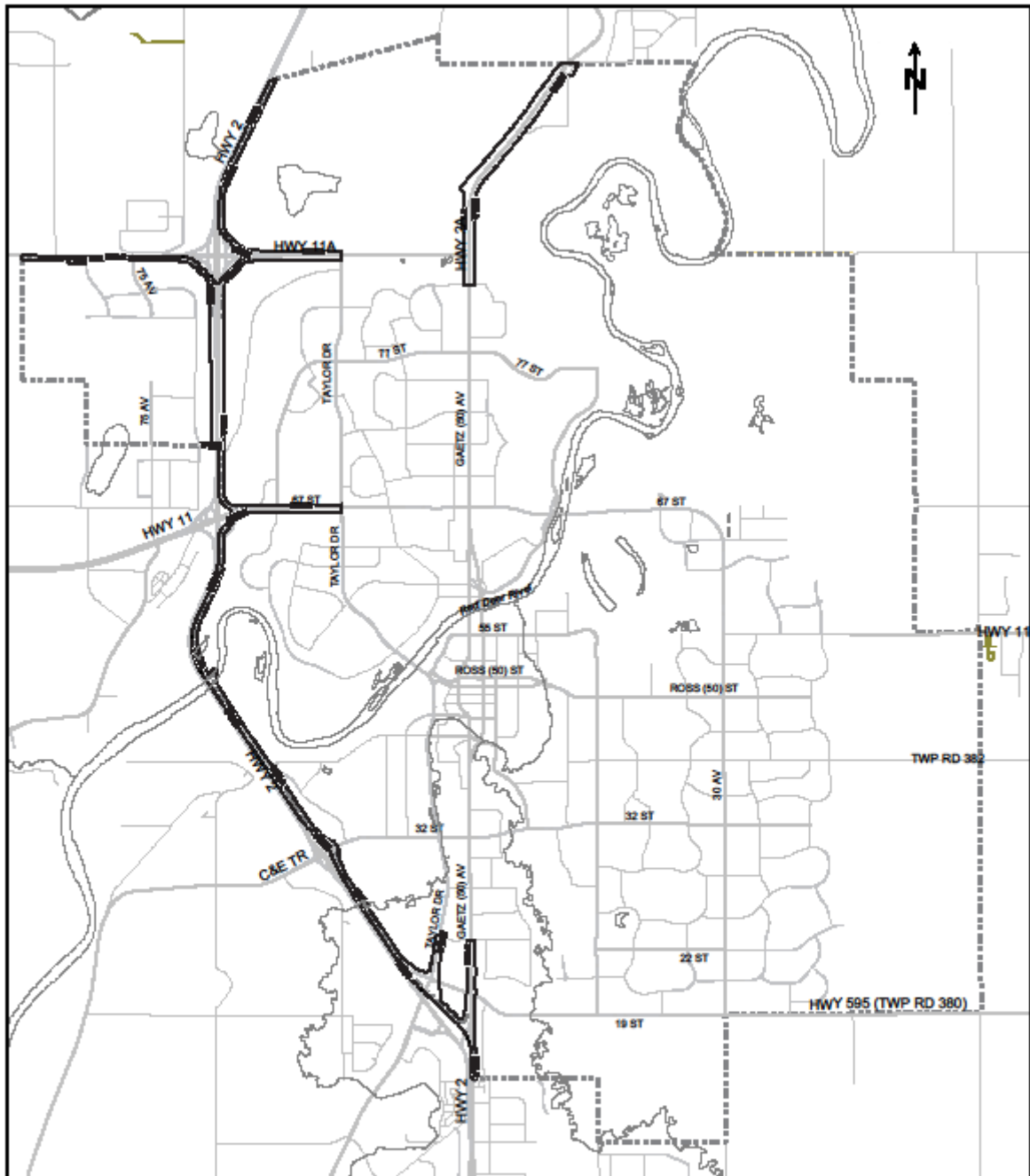
- (a) In the Major Entry Area, the following minimum regulations shall be met:
 - (i) one tree shall be required for each 40.0m² of Landscape Area;
 - (ii) the proportion of deciduous and coniferous shall be approximately 50:50;

¹ 3357/G-2018

- (iii) where new trees are otherwise required, existing trees having a height of 2.5m may be used if the earth under the normal spread of branches for the species (measured as an equilateral triangle from the top of the tree) remains undisturbed during construction and final grades are not significantly changes;
- (iv) two deciduous shrubs are required for each 40.0m² of landscape area;
- (v) the proportion of deciduous to coniferous shrubs required shall be approximately 2:1.

8. Major Entry Areas Regulations for Signs

- (a) Notwithstanding any other provision of this Bylaw, Identification Signs located on the facades of Buildings situated in the Major Entry Areas shall be similar to other adjacent Identification Signs as to proportion, construction materials and placement on the Building; and
- (b) The design, placement and scale of Signs shall be to the satisfaction of the Development Authority so as to ensure that the signs do not detract from the overall appearance of the development or the Major Entry Areas, and is not obtrusive.



**Major Entry Areas: Subject to Landscaping Requirements
& Restrictions on Billboards & Dynamic Signs**





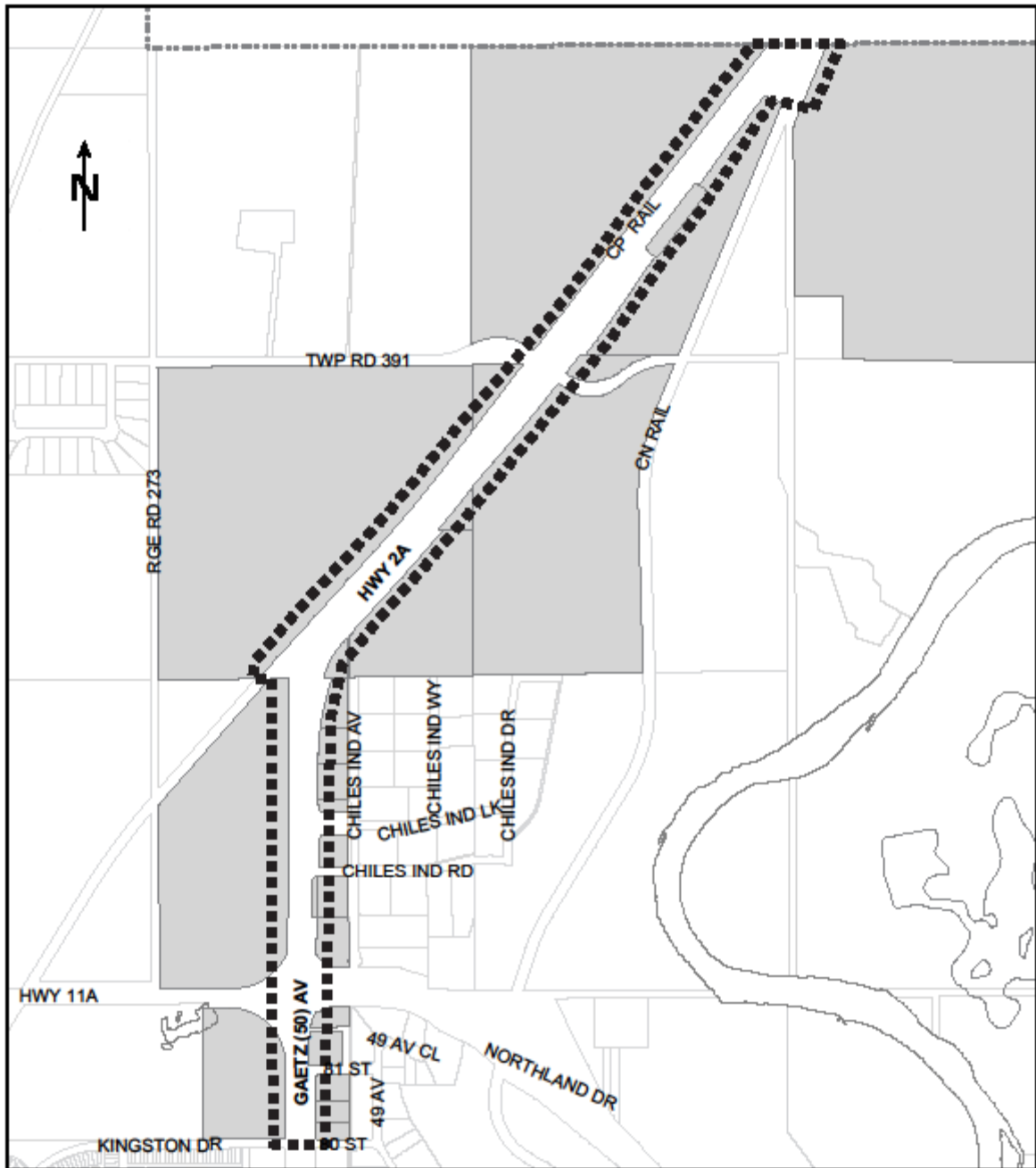
-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  City Boundary

Figure 7A
Bylaw No. 3357/2006



Major Entry Area Affected Parcels (North East End):
 Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






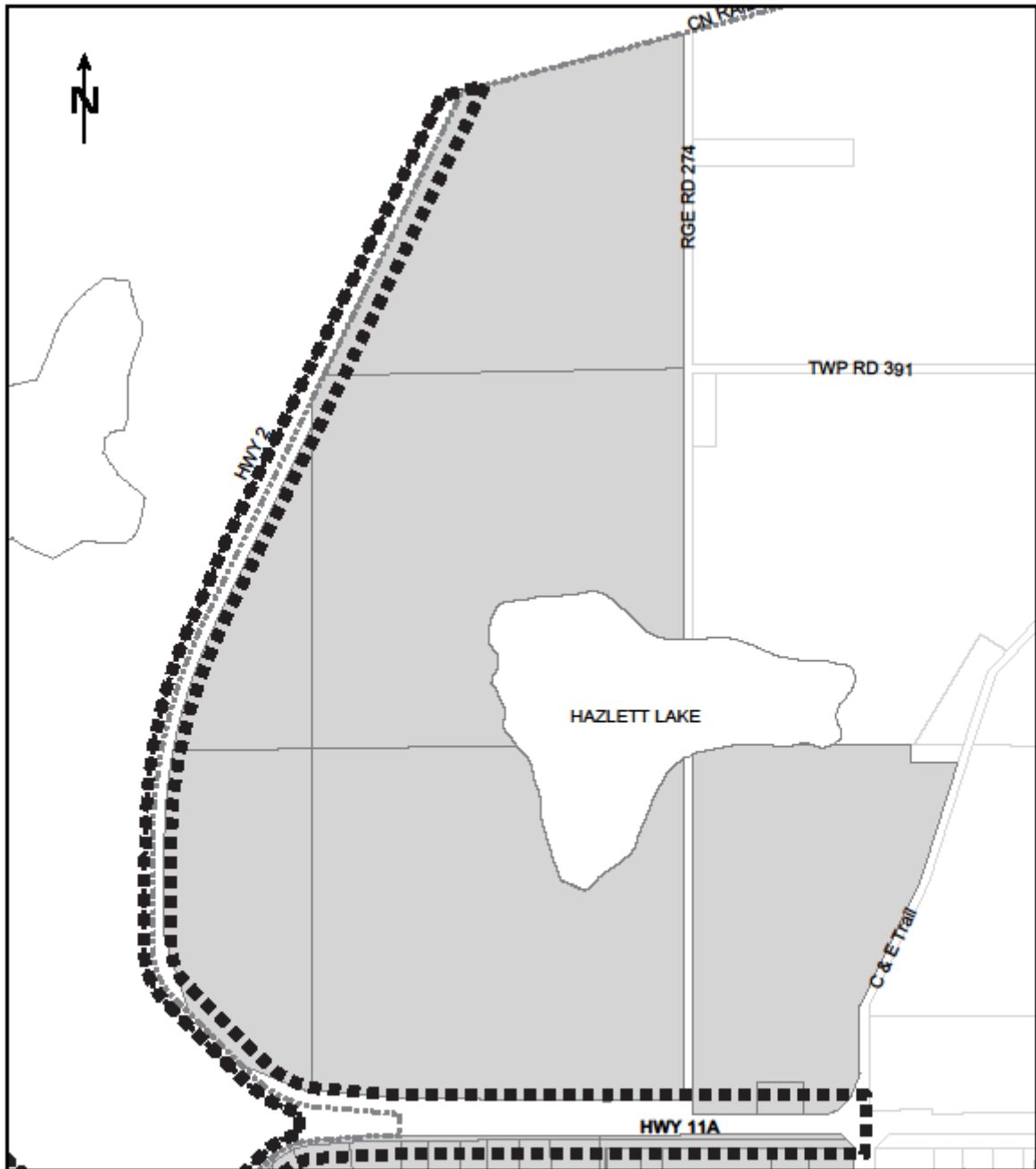
-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  Affected Parcels
-  City Boundary

Figure 7B
 Bylaw No. 3357/2006



Major Entry Area Affected Parcels (North West End):
Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






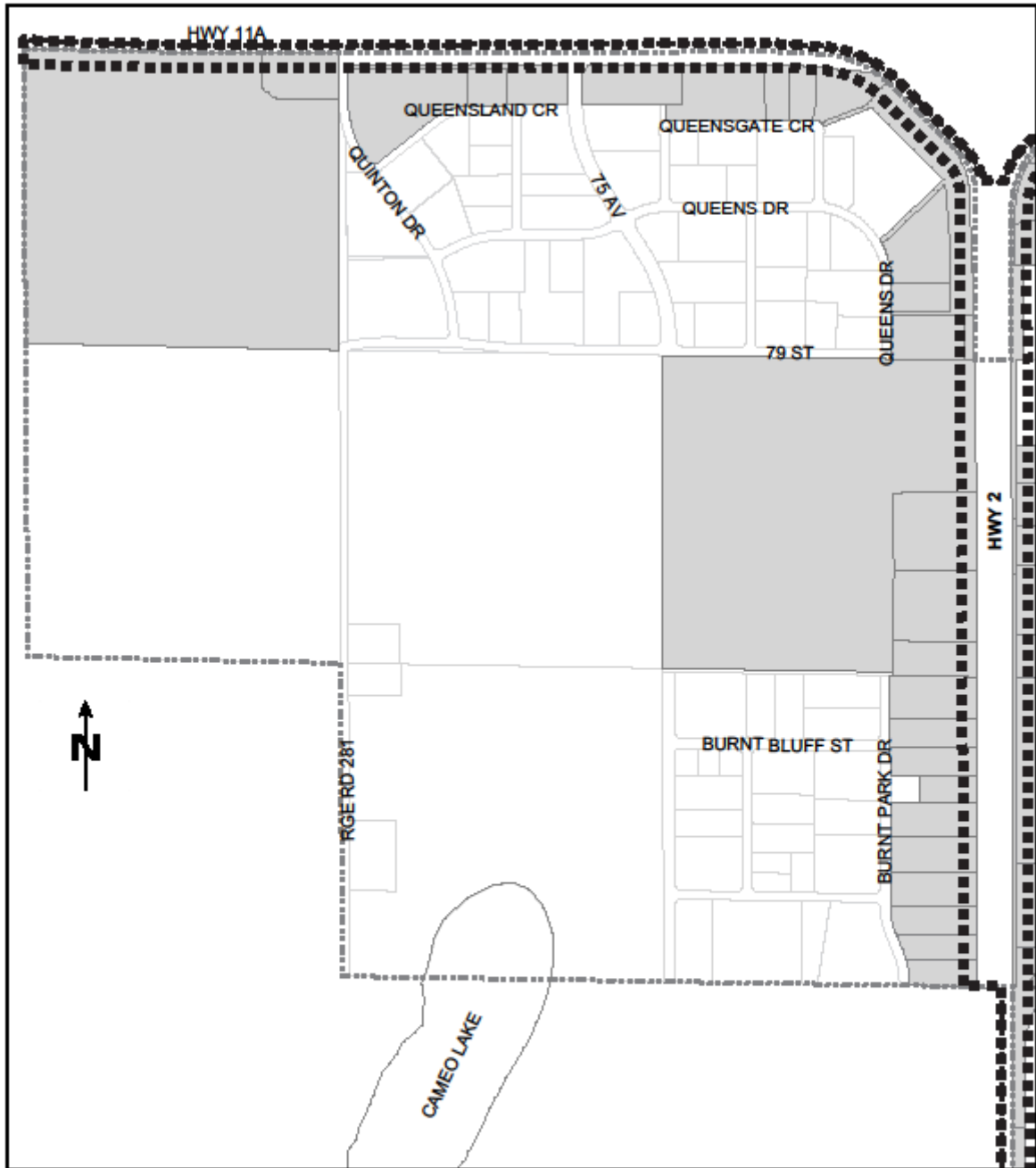
-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  Affected Parcels
-  City Boundary

Figure 7C
Bylaw No. 3357/2006



Major Entry Area Affected Parcels (West QE2):
 Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






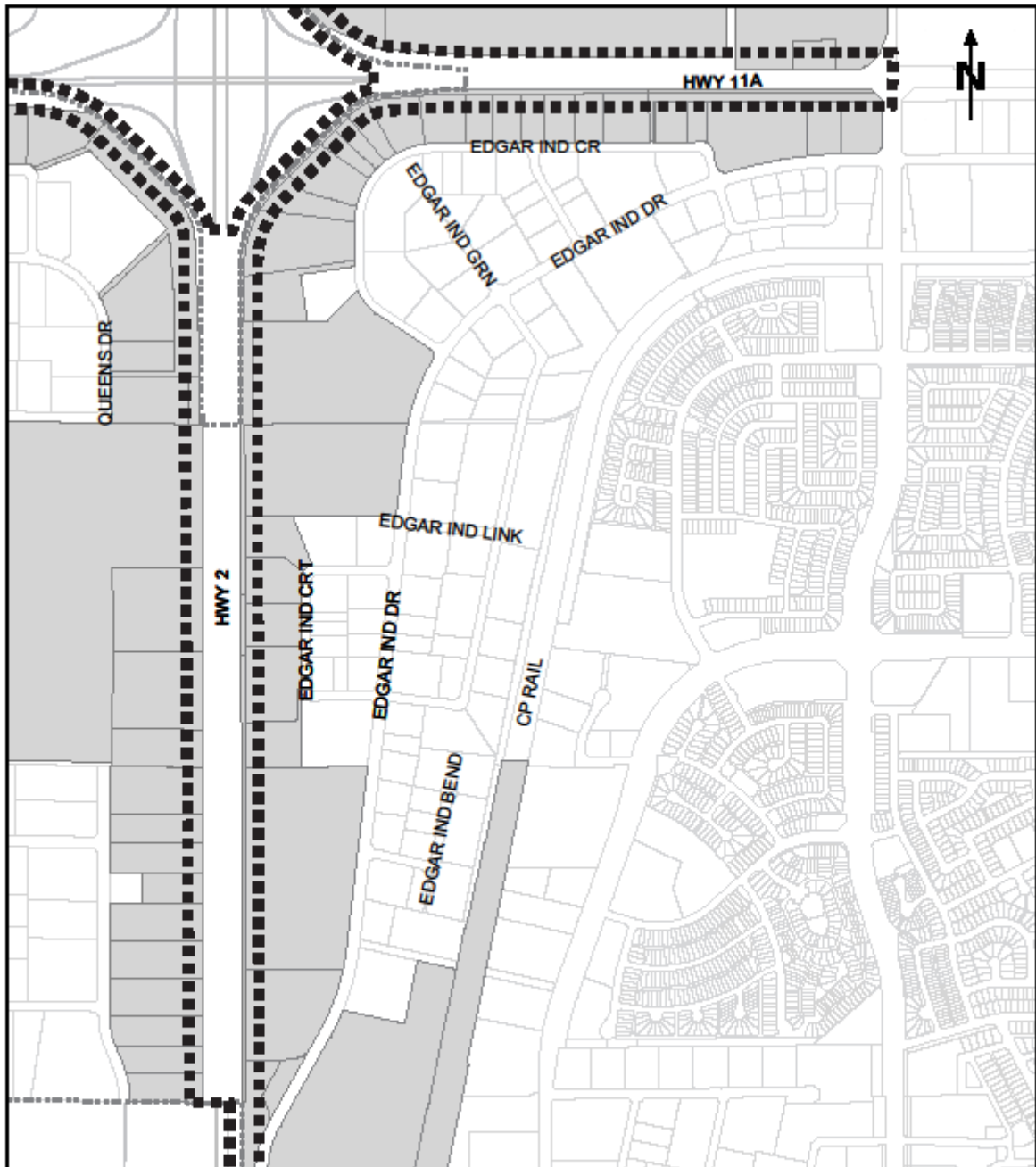
-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  Affected Parcels
-  City Boundary

Figure 7D
 Bylaw No. 3357/2006



Major Entry Area Affected Parcels (Between 67 St. & Hwy 11A):
 Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






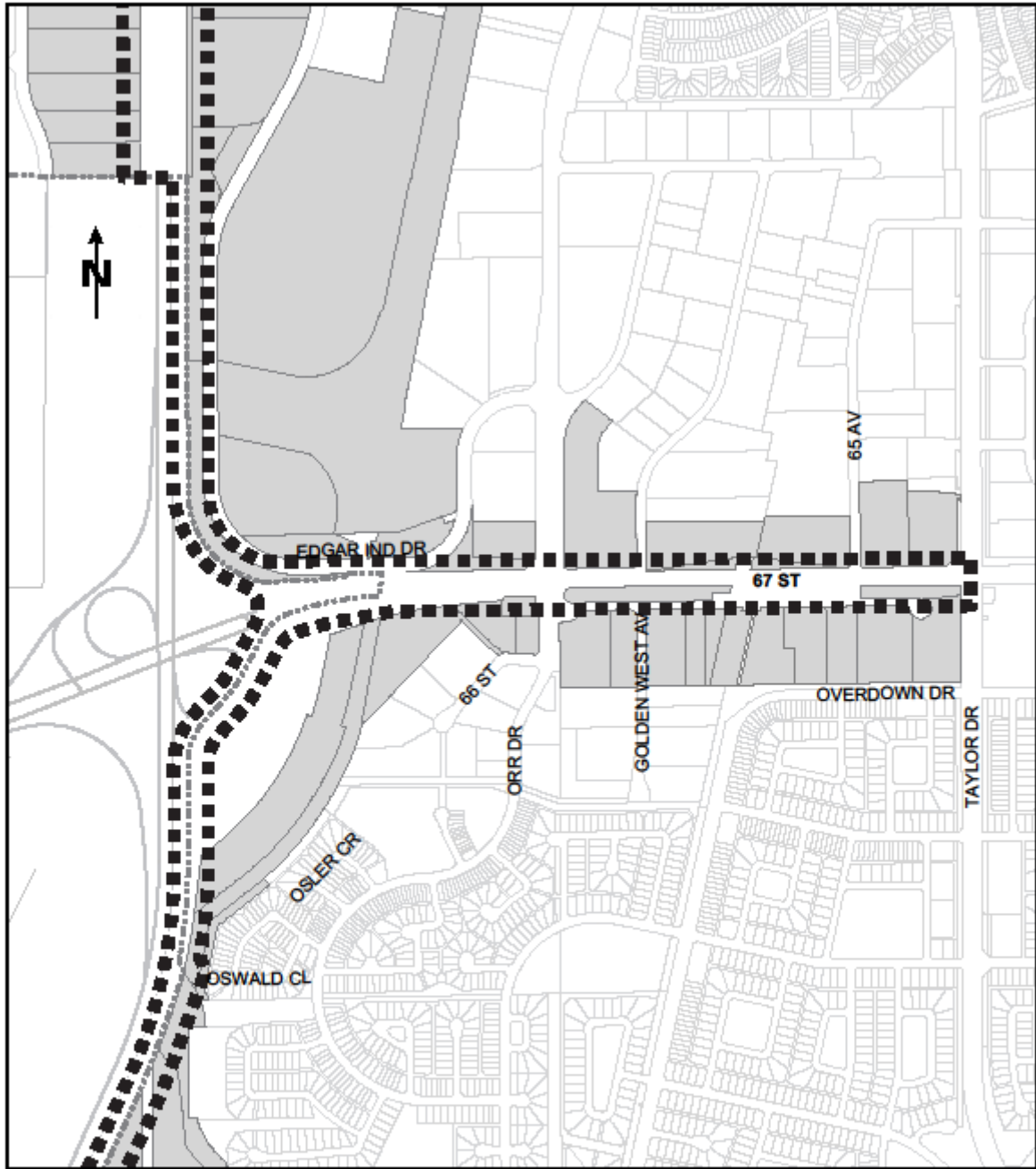
-  Major Entry Area Overlay District
(to 20 metres adjacent the streetscape of concern)
-  Affected Parcels
-  City Boundary

Figure 7E
 Bylaw No. 3357/2006



Major Entry Area Affected Parcels (67 St.):

Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






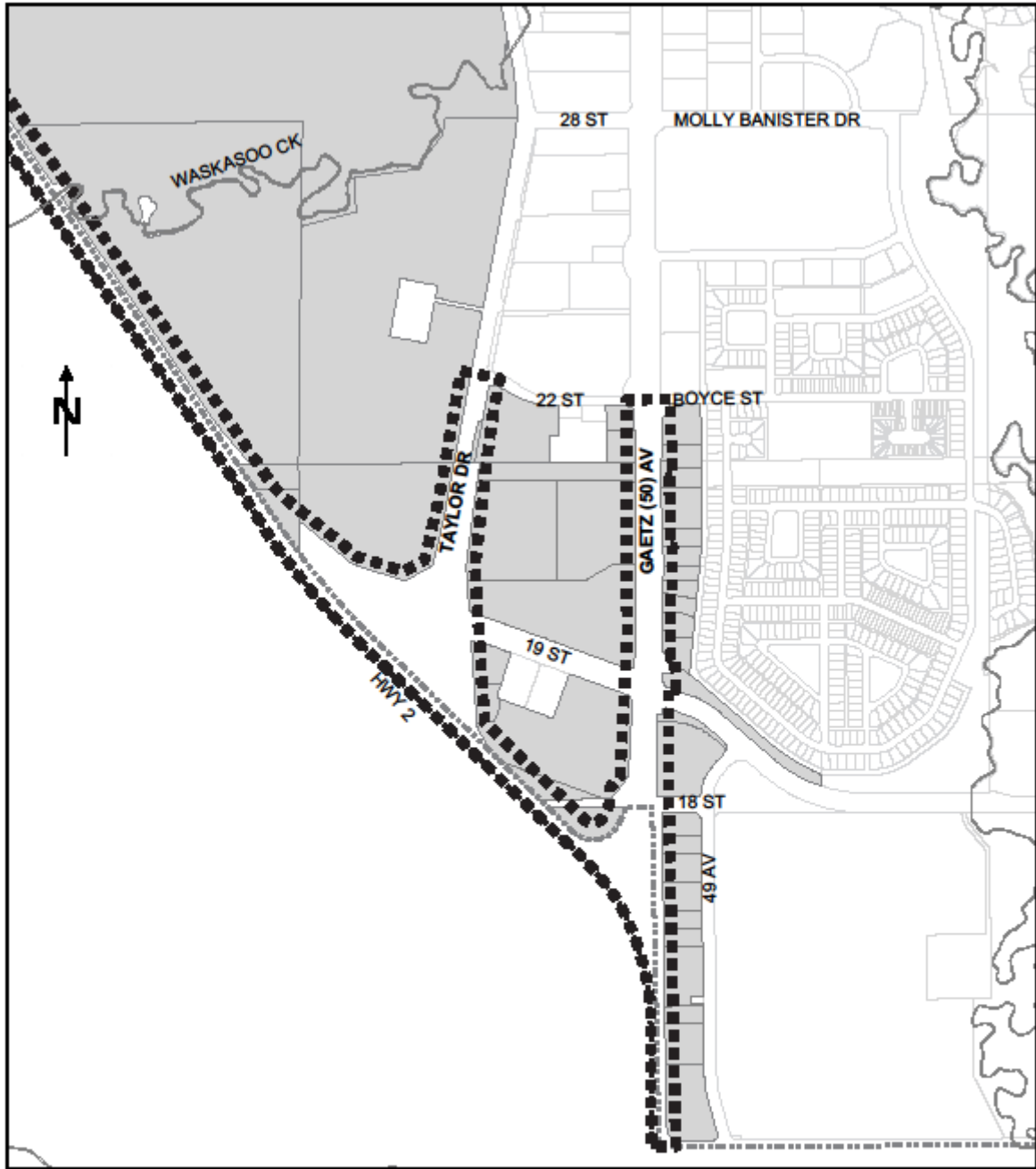
-  Major Entry Area Overlay District (to 20 metres adjacent the streetscape of concern)
-  Affected Parcels
-  City Boundary

Figure 7F
Bylaw No. 3357/2006



Major Entry Area Affected Parcels (South End):
 Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






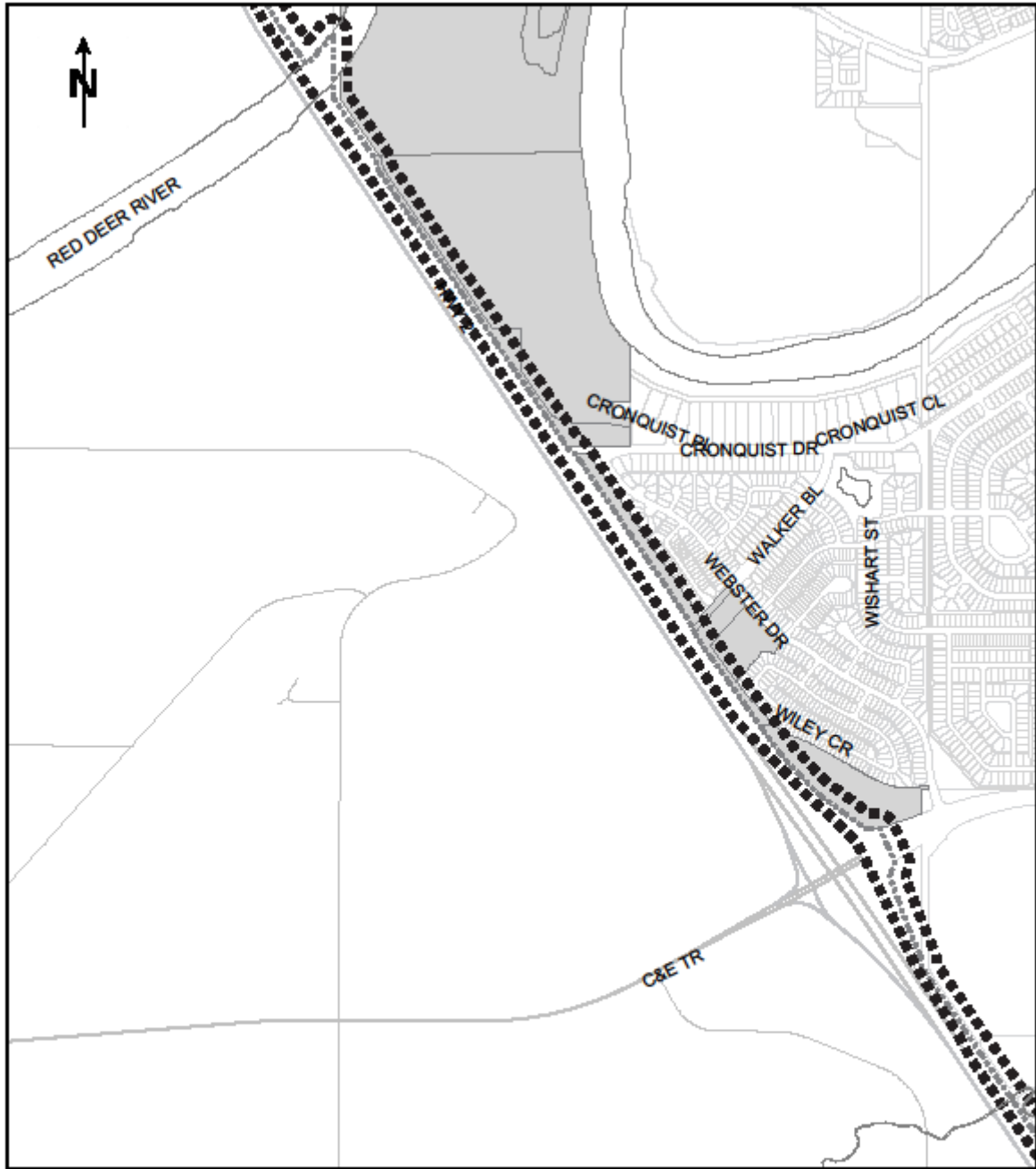
-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  Affected Parcels
-  City Boundary

Figure 7G
 Bylaw No. 3357/2006



Major Entry Area Affected Parcels (Hwy 2 South):
Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






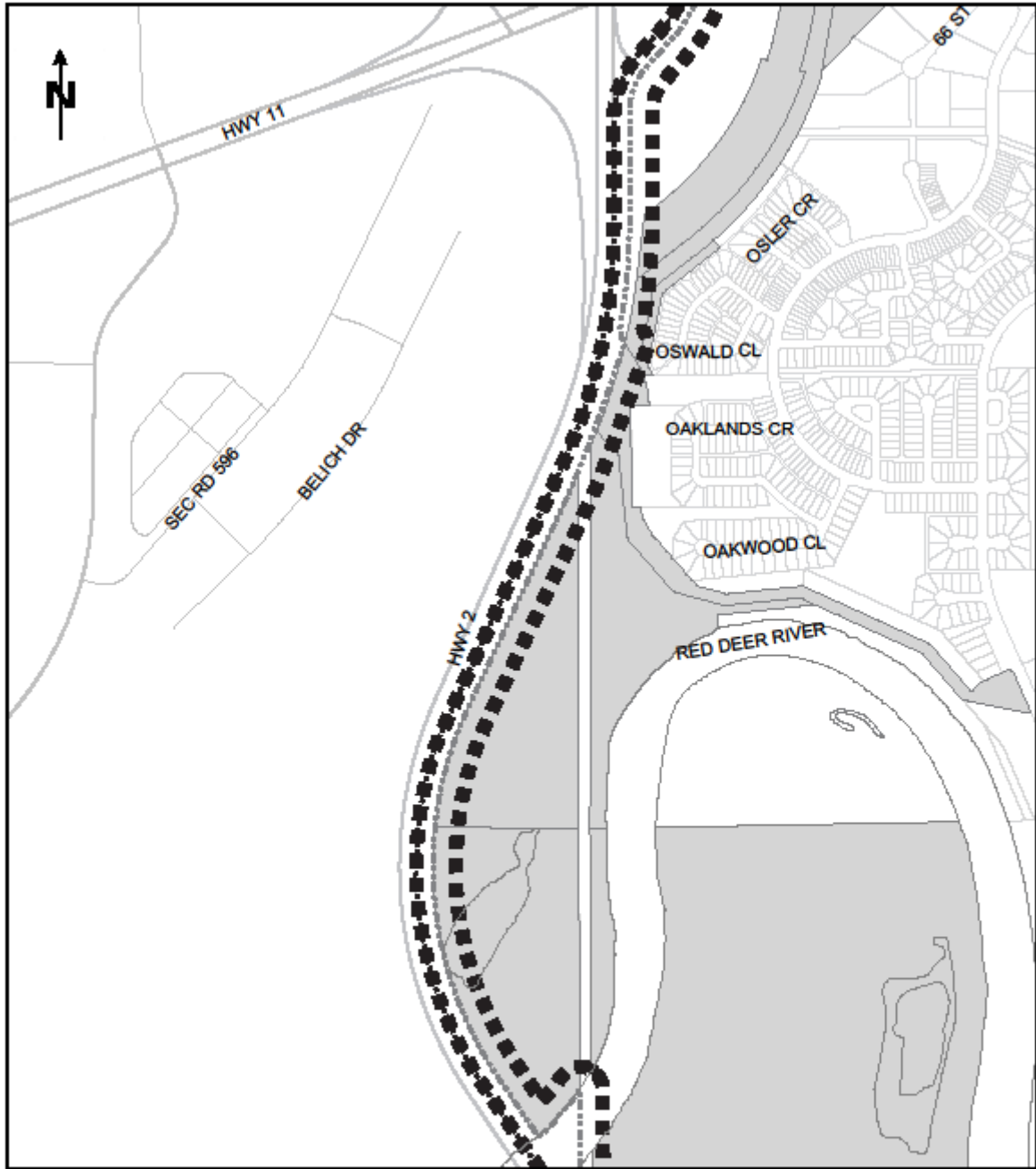
-  Major Entry Area Overlay District
(to 20 metres adjacent the streetscape of concern)
-  Affected Parcels
-  City Boundary

Figure 7H
Bylaw No. 3357/2006



Major Entry Area Affected Parcels (Hwy 2 North):
Subject to Landscaping Requirements & Restrictions on Billboards & Dynamic Signs






-  Major Entry Area Overlay District
(to 20 metres adjacent the Major Corridors)
-  Affected Parcels
-  City Boundary

Figure 71
Bylaw No. 3357/2006

7.16 ¹Little Close Overlay District:

1. General Purpose

The purpose of this overlay is to allow for an increase to the maximum site coverage within an R1A district.

1. Application

In the Little Close Overlay District, the site coverage regulation set out in the underlying district is modified as follows:

Regulation	Requirements
Site Coverage Maximum	50% (includes garage and accessory buildings)

¹ 3357/Q-2017